



# NIRVANA

KINGCOED | USK | MONMOUTHSHIRE



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AN ATTRACTIVE BARN CONVERSION WITH A RANGE OF BUILDINGS AND PADDOCKS.

LOCATED IN THE HEART OF THE SOUGHT AFTER MONMOUTHSHIRE COUNTRYSIDE YET WITHIN EASY REACH OF LOCAL TOWNS AND LARGER SETTLEMENTS. NIRVANA OFFERS A RARE OPPORTUNITY TO PURCHASE A DELIGHTFUL AND ATTRACTIVE RURAL PROPERTY WITH SIGNIFICANT APPEAL TO EQUESTRIAN AND LIFESTYLE PURCHASERS.

FOR SALE AS A WHOLE

- Sought after, peaceful, rural setting •
- Offering excellent, far-reaching views over the Monmouthshire Countryside •
- Lovely gardens and a range of useful outbuildings •
- Excellent paddocks extending in all to 3.84 acres •
- Desirable, manageable property in easy reach of the historic town of Usk as well as Raglan •
- Excellent commuter links to Newport, Bristol & Cardiff •
- Offered For Sale by Private Treaty •

## DISTANCES FROM NIRVANA

Raglan 2.3 miles • Usk 5.5 miles • Monmouth 8.9 miles

Abergavenny 12.0 miles • Newport 17.5 miles

Ross-on-Wye 20.1 miles • Bristol 29.0 miles • Cardiff 30.9 miles

M4 (Jct.24) 12.5 miles • Abergavenny Train Station 10.9 miles

Newport Train Station 14.7 miles • Cardiff Central Station 31.5 miles

(all distances are approximate)

These particulars are intended only as a guide and must not be relied upon as statement of fact. Your attention is drawn to the Important Notice on the last page of the text.



## THE PROPERTY

Having been converted in circa 2007, Nirvana offers a delightfully transformed, two-bedroom barn conversion with exceptional views. Stepping into an open plan living/kitchen room with large, glazed doors to the front, allowing a purchaser to benefit from the southerly aspect and the views Nirvana offers. With a delightful stone tiled floor throughout the kitchen and living room providing an excellent living space and heart to the property. With exposed beams, high elevations and a feature wood burner adding real appeal to the internal layout of the dwelling. The main bedroom is located past the living room and benefits from being a double in size as well as profiting from views across the valley. The family bathroom, opposite the main bedroom, comprises a WC, basin and shower. The second bedroom, again a double, benefits from doors to the garden which similarly allow ample natural light into the room.

Accessed from a set of external stone steps is a mezzanine floor above the bedroom and bathroom. This additional space provides a great additional storage area as well as being very well suited to providing a home office or guest accommodation.

The property has been well maintained throughout and is a credit to the vendors.

The gardens have been extremely well kept and provide an excellent addition to the Property allowing a purchaser to thoroughly enjoy the situation of the Property. A number of mature fruit trees add real appeal to the Property.



## LOCATION & SITUATION

Nirvana enjoys a desirable position just 2.3 miles from the village of Raglan, it is not far from the prestigious Welsh Border towns of Monmouth & Abergavenny. Raglan offers a number of local amenities, including village shop, doctors surgery, pharmacy, post office, public houses and the highly regarded Beaufort Hotel & Brasserie. Raglan also benefits from a primary school.

Nirvana is located 5.5 miles from the historic town of Usk. Usk offers a traditional shopping street with boutique shops, a range of hotels, including the nearby Cwrt Bleddyn Hotel and Spa, restaurants, local primary school, doctors surgeries and vets. The romantic ruin of Usk Castle is also located near the town centre.

Further comprehensive shopping and leisure amenities are situated at Monmouth and Abergavenny, with more extensive facilities at Newport, Bristol and Cardiff, all within 45 minutes' drive.

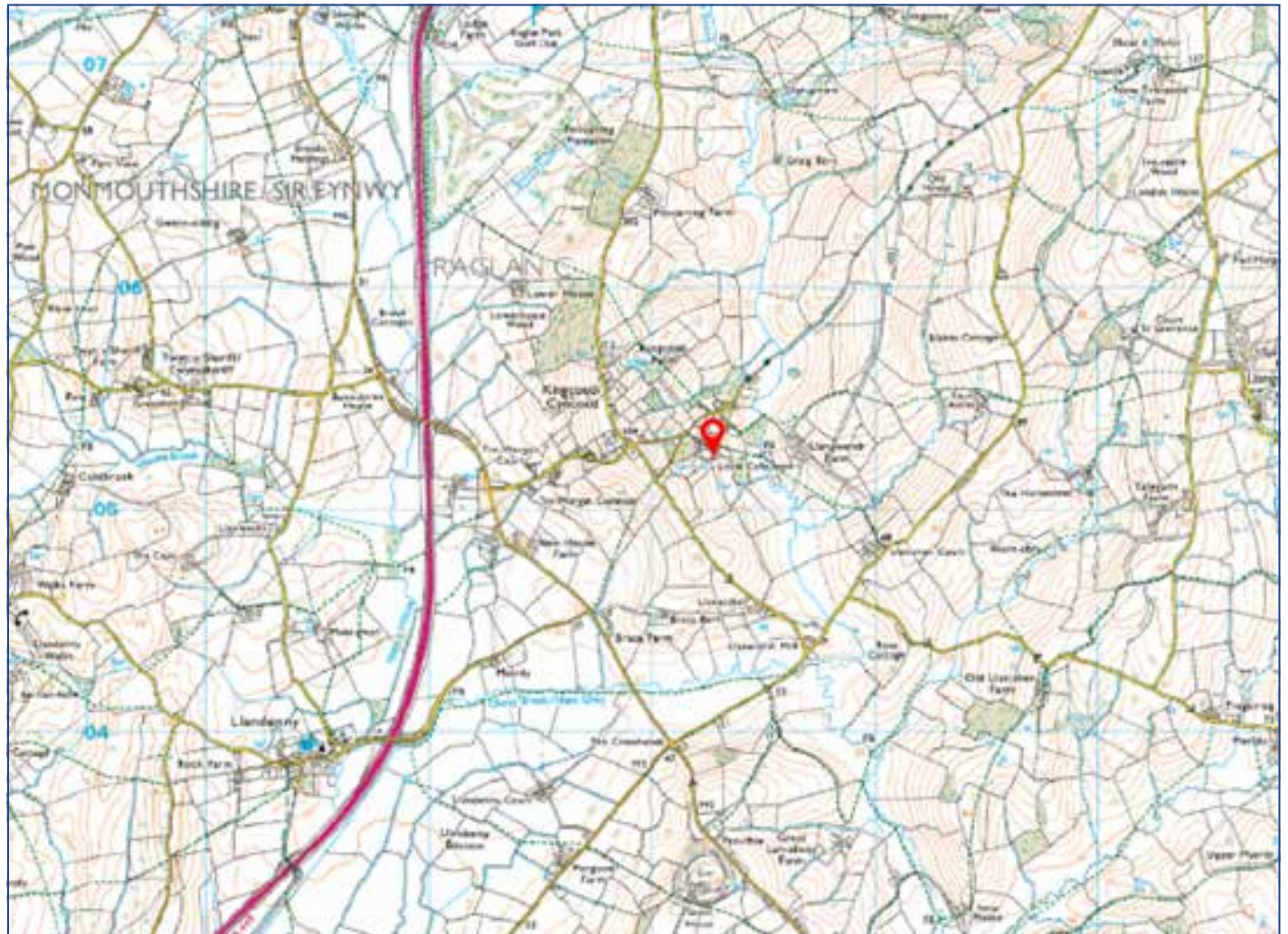
Excellent road connections exist at Usk and Raglan, with the nearby A40 / A449 providing access to the M4 / M50 and M5 motorways respectively.

## OUTSIDE

Externally there is a range of useful outbuildings. The first building, being of a 3-bay, steel portal frame construction, over an earth and hardcore floor provides excellent storage space for tools, machinery, timber and other sundries. The building is tin clad with a tin roof and is in an excellent condition. The second building, adjoining the first is of a similar construction but sat over a concrete floor with electricity connected and provides a great workshop space or the potential for equestrian stabling.

The land at Nirvana provides a main useful grazing paddock, well suited to livestock or equestrian grazing. The paddock is well fenced with stock proof, post and wire fencing. Gently sloping and rising up away from the dwelling, the views are something a purchaser will never cease to enjoy and appreciate.

In all the property measures approximately 3.84 acres (1.55 hectares).



## NIRVANA



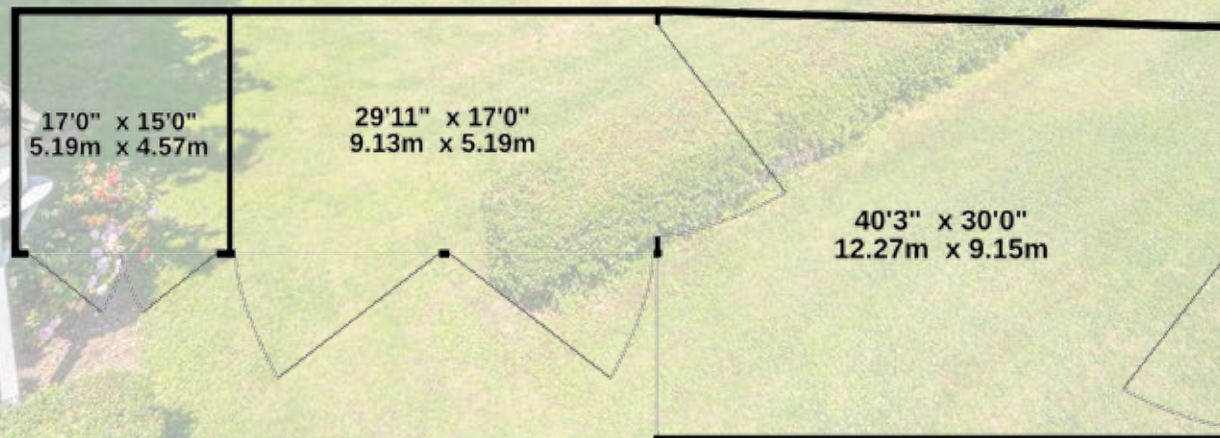
NIRVANA, KINGCOED, NP15 1DS

TOTAL FLOOR AREA : 1025 sq.ft. (95.2 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.

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## OUTBUILDINGS



TOTAL FLOOR AREA : 1950 sq.ft. (181.2 sq.m.) approx.

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## KEY INFORMATION

**Services:** The property is served by mains water, private drainage (septic tank) and mains electricity. A woodburner also serves the dwelling. Note there is an easement in place for an adjoining property's soakaway.

**Sales Method:** Private Treaty.

**Local Planning Authority:** Monmouthshire County Council.  
Telephone 01633 644644

**Legal Costs:** Each party to bear their own legal costs incurred with the transaction.

**VAT:** It is understood that VAT will not be chargeable on the sale price.

**Council Tax:** Band E

**Wayleaves, Easements and Rights of Way:** The property is offered with all existing wayleaves, easements, public and private rights of way, and any other such rights, whether these are specifically referred to in these particulars or not.

There are no third-party rights across the Property however there is space in the parking area for an adjoining property to park, in an emergency or by giving suitable notice.

**Directions:** From Raglan take the Chepstow Rd south for approximately 2.0 miles. Continue over the bridge that crosses over the A40 until you reach the cross roads at the top of the Kingcoed pitch, turn left and continue down the hill. You will pass the buildings on your right hand side. Continue down and the lane sweeps around to the right, passing a neighbouring property and Nirvana is located in front of you. A for sale board will be located at the entrance to the Property as well as a directional sign from the top road.

**Viewings:** Strictly by appointment with the selling agents. All parties view at their own risk and no liability is accepted by the vendor or selling agents.

**Further Information:** For further information please contact Edward Fletcher BSc (Hons) MSc MRICS FAAV or David Powell BSc (Hons) MSc MRICS FAAV on 01600 714140 or email enquiries@powellsrural.co.uk.



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